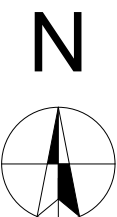


NOTES

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REVISIONS

12.08.18 - MPL - TB: Drawing Created.  
A: 26.09.18 - ZL - TB: OS Map showing adjacent properties added. Additional note clarifying the north eastern trees/hedge, and our clients seeking to retain as much as possible, ensuring that it is to survive/re-establish. If the hedges are unable to remain, and unable to provide screening, they will be replaced with new planting. Increased planting across the site, in particular along the public right of way, providing a net biodiversity gain. Arboricultural Strategy updated and wildlife friendly plants added. All of the above amendments are as per the Case Officers, Consultees and our Clients request (24-09-18).



This Drawing to be read in Conjunction with:

- The Plant Schedule & Specification Ref: 5552-P-3700, Aug. 2018
- The Ecological Appraisal Ref: WVE18119, July 2018
- Arboricultural Report, June 2018 particularly Sections 6 & 7 and the Site Specific Method Statement, Section 8.0.

DRAWING TITLE

Landscaping Plan

PROJECT

Pilgrim Close, Shaw Village, Swindon

CLIENT

Swindon Housing Development Company Ltd

SCALE 1:200@A1

DATE Sept 2018



DRAWING NO. REV

5552-W-12 A

Matthews Warehouse, High Orchard Street Gloucester Quays, GL2 5QY T: (01452) 424234

KEY

- Site Boundary
- Site Area= 4,986 sqm
- Demarcation of ownership

PROPOSED DEVELOPMENT

- 14no.2B3P Bungalow @ 63sqm

- 14no. Total Units
- 28 Units Per Hectare

HARD LANDSCAPING

- New Adoptable Road
- New Shared Surface Road
- New Permeable Block Paving
- New Block Paving
- Footpath
- 2250x900mm Bin Store
- Demarcation of cycle path
- Parking Space
- 1800mm Timber Close Boarded Fencing

SOFT LANDSCAPING

- Proposed Garden
- Retention of trees and hedges to site perimeter
- Felled Trees
- Proposed Trees
- Existing Trees to be Retained
- Proposed Hedge Carpinus betulus (Common hornbeam)
- Proposed other hedges
- Proposed 750mm border, see Planting Schedule
- Proposed bat attracting planting
- Existing vegetation

OTHERS

- Cycle Path

NOTES

- Proposed Attenuation Tank as per Hydrock Drawings C-7010 & C-7011

- RPA Barrier Fence As per Arboricultural report

All felling of trees and shrubs in Groups G11, 12, 13, 14 to facilitate construction, must be carried out prior to construction commencement as per Arb. report, paragraph 6.0. If works are carried out during the breeding season, a qualified Ecologist must attend site for a bird check.

Protective barrier (RPA) to be erected 5m from boundary line. Post - construction, carry out weeding, and pruning of retained Field Maples as per Arb. report's Method statement.

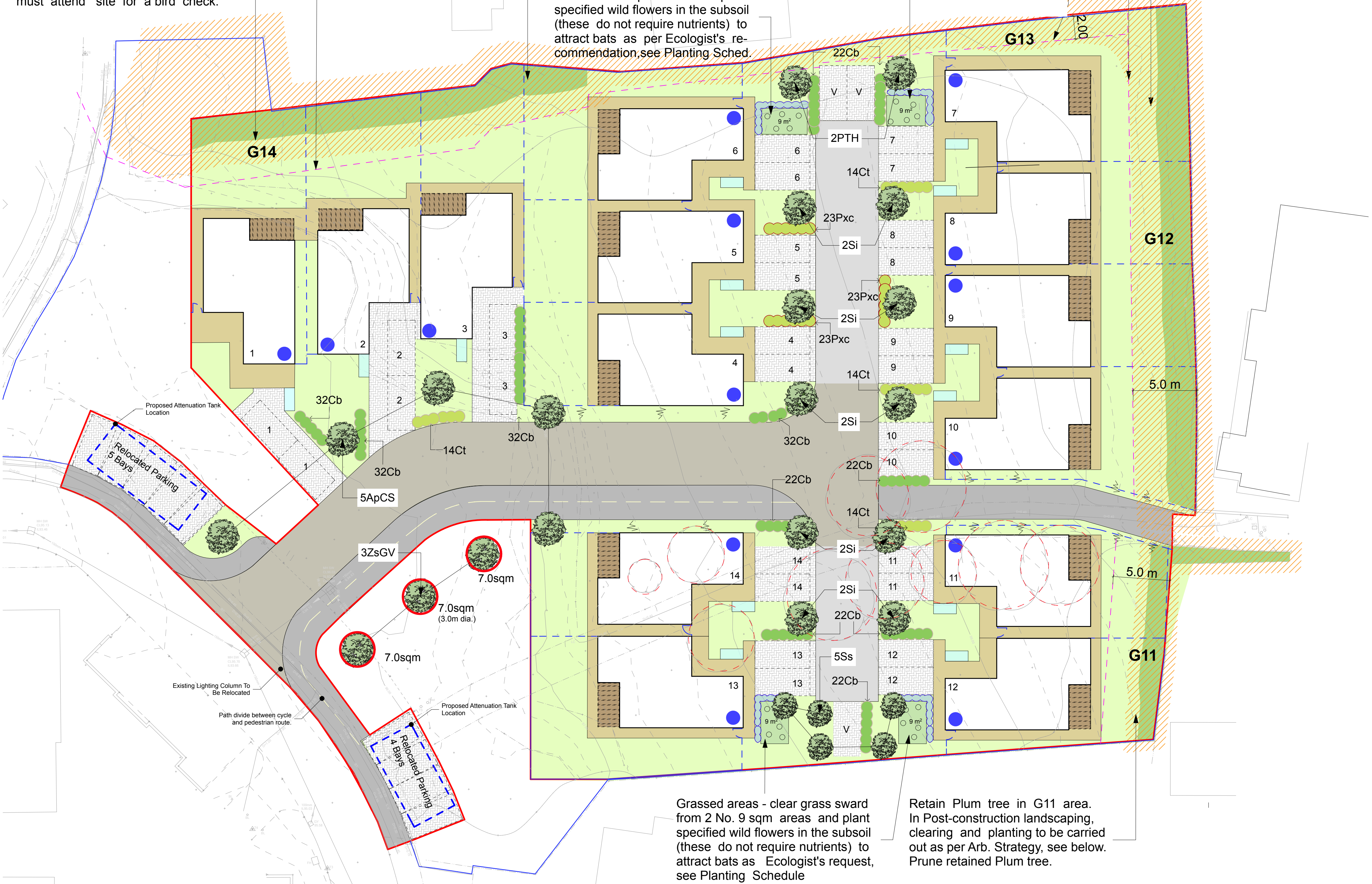
Post-construction when landscaping will be carried out, new planting to be introduced in gaps created by the previous felling and subsequent weeding (using Glyphosate like Roundup)

Grassed areas - clear grass sward from 2 No. 9 sqm areas and plant specified wild flowers in the subsoil (these do not require nutrients) to attract bats as per Ecologist's recommendation, see Planting Sched.

Protective barrier for RPA to be erected 5m from east boundary line, 2m from north boundary line

Wildflowers to attract bats in 2 No. cleared areas, each end of access road

Contractor to seek to retain trees, where possible, ensuring they will survive and re-establish. If unable to retain, new planting to provide a replacement screen, with the same ecological value.



ECOLOGICAL NOTES

Bat Boxes to be 4No type 2F Schwegler wood concrete diameter 16cm located on existing trees facing in a North-East or South-East orientation. Planting for bats to be as per Planting Schedule, Ref: 5552-P-3700

Thoroughfares for Hedgehogs: locations of low level openings in fences to be agreed with the Ecologist.

Nesting birds: Vegetation clearance should be undertaken outside the nesting season - March to September inclusive. If not possible, an expert Ecologist should be present to check for birds prior to work commencement.

ARBORICULTURAL STRATEGY

**Note:** Close inspection of vegetation was not possible at the time of the survey due to density of shrubs and trees. It is envisaged that the clearing process will be supervised by a qualified Arboriculturalist.

10No existing Horse Chestnut trees considered to be of low value due to bleeding cankers and leaf miner infection will be felled to provide for the development.

**Area G11** (graded B2) - predominantly Dogwood offering good screening to neighbouring properties in Angus Close. Dogwood to be cut back retaining a 2m strip and hard pruned to within 100mm of ground to provide stronger framework for following year. Gaps to be planted with native dogwood.

**Area G12** (graded B2) - Field Maple boundary trees, Hazel and Blackthorn providing complete screening for neighbouring properties in Angus Close. Clearing will remove all shrubs on garden side preserving a 2.5m -3m wide strip along the fence. Careful inspection will determine quantity of further shrubs to be removed anticipating approx. 20% retention of remaining natives including Maple trees. Individual pruning to be carried out where necessary. A staggered row of new under-planting will be located on the garden side to enhance the group, see Planting Schedule.

**Area G13** (graded C2) - Predominantly Blackthorn with occasional Hawthorn and Field Maple. Past poor management has resulted in a lower collective value. Approx. 10% retention of shrubs and Maple Trees on boundary line may be likely. Trees of reasonable form to be pruned and a staggered row of new under-planting will be located on the garden side to enhance the group, see Planting Schedule.

**Area G14** (graded B2) - Field Maple, Hazel and Blackthorn of similar height and screening as G12. Clearing will remove all shrubs on garden side preserving a 2.5m - 3m wide strip along the fence. Careful inspection will determine quantity of further shrubs to be removed anticipating approx. 20% retention of remaining natives including Maple trees. Individual pruning to be carried out where necessary. A staggered row of new under-planting will be located on the garden side to enhance the group, see Planting Schedule.

Grassed areas - clear grass sward from 2 No. 9 sqm areas and plant specified wild flowers in the subsoil (these do not require nutrients) to attract bats as Ecologist's request, see Planting Schedule

Retain Plum tree in G11 area. In Post-construction landscaping, clearing and planting to be carried out as per Arb. Strategy, see below. Prune retained Plum tree.